

U-HAUL AT SOUTH BROADWAY

Rochester, Minnesota

WSB & Associates, Inc. Project No. 010942-000 SITE DEVELOPMENT PLAN
Issue Date..... February 28, 2018



1 PROJECT LOCATION MAP
CJ001 SCALE: NOT TO SCALE

THIS PLAN SET HAS BEEN PREPARED FOR:
AMERCO REAL ESTATE U-HAUL INT'L
2727 N CENTRAL AVE STE. 500
PHOENIX, AZ 85004

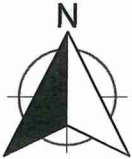
SHEET INDEX	
SHEET NUMBER	SHEET TITLE
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GENERAL NOTES

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS AND REQUIREMENTS OF THE DETAILED SPECIFICATIONS.
2. OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL PAY ALL PERMIT AND OTHER ASSOCIATED FEES REQUIRED BY LOCAL, STATE AND FEDERAL AGENCIES.
3. EXISTING SITE INFORMATION WAS TAKEN FROM A BOUNDARY AND TOPOGRAPHIC SURVEY COMPLETED BY ACRE LAND SURVEYING, BLAINE, MN DATED SEPTEMBER 5, 2017, REVISED SEPTEMBER 12, 2017. ACTUAL FIELD CONDITIONS MAY VARY. VERIFY ALL FIELD CONDITIONS INCLUDING LOCATION OF UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. NOTIFY THE OWNER AND ARCHITECT OF ANY DISCREPANCIES AFFECTING THE SCOPE OF THIS CONTRACT. SEE SURVEY FOR BENCHMARK INFORMATION. PROTECT ALL PROPERTY CORNERS. RELOCATE BENCHMARKS AS NECESSARY WITH NEW BENCHMARK LOCATIONS WITHIN A TOLERANCE OF 0.010 VERTICAL FEET.
4. REFER TO GEOTECHNICAL REPORT PREPARED BY ECS MIDWEST, LLC, ROCHESTER, MINNESOTA DATED SEPTEMBER 18, 2017 FOR SOIL BORING LOCATIONS AND RECOMMENDATIONS.
5. THE CONTRACTOR SHALL CONTACT THE LOCAL UTILITY MARKING AUTHORITY PRIOR TO CONSTRUCTION.

THE SUBSURFACE UTILITY INFORMATION SHOWN ON THESE DRAWINGS CONCERNING TYPE AND LOCATION OF PRIVATE UTILITIES HAS BEEN DESIGNATED UTILITY QUALITY LEVEL D. THESE QUALITY LEVELS WERE DETERMINED ACCORDING TO THE GUIDELINES OF CI/ASCE 38-02, ENTITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE DATA". THE CONTRACTOR IS TO DETERMINE THE TYPE AND LOCATION OF PRIVATE UTILITIES AS MAY BE DEEMED NECESSARY TO AVOID DAMAGE THERETO.

EXISTING LEGAL DESCRIPTION:
OUTLOT A, SOUTHERN CROSSINGS



WSB PROJECT NO.:
010942-000

SCALE: AS SHOWN
DESIGN BY: BWF
PLAN BY: TOR
CHECK BY: MRS

REVISIONS	
NO	DATE DESCRIPTION

OWNER/DEVELOPER
AMERCO REAL ESTATE U-HAUL INT'L
2727 N. CENTRAL AVENUE, SUITE 500
PHOENIX, AZ 85004
602.263.6502
C/O Lora Lakov@uhaul.com

U-HAUL AT BROADWAY SOUTH
ROCHESTER, MN

TITLE SHEET

GENERAL NOTES:

1. The basis of bearings is the north line of Outlot A, SOUTHERN CROSSINGS, to be South 89°36'10" West.
2. All elevations based on NAVD88. Benchmarks shown on survey. No local city benchmarks provided by the City of Rochester.
3. No observed potential encroachments.
4. Existing site information was taken from a boundary and topographic survey completed by ACRE LAND SURVEYING dated September 5th, 2017 & Revised 9-12-17.

MEETS AND BOUNDS DESCRIPTION:

(Note: This is not the actual legal description, client requested a meets and bounds description of the surveyed property)

Beginning at the northeast corner of Outlot A, Southern Crossings; thence South 89°36'10" West, assumed bearing along the north line of said Outlot A, 623.95 feet; thence South 00°20'24" East, 354.97 feet, thence East 323.44 feet; thence easterly 7.87 feet along a tangential curve concave to the south having a radius of 533.00 feet and central angle of 00°50'44"; thence South 89°09'16 East, 391.66 feet; thence North 00°50'44" East, 70.54 feet; thence North 87°49'59" West, 6.85 feet; thence northwesterly 315.82 feet along a non-tangential curve concave the southwest, having a radius of 450.00 feet, central angle of 40°12'42", chord bearing of North 17°56'20 West and chord of 309.38 feet to the point of beginning.

EXISTING LEGAL DESCRIPTION:

(per Title Commitment No: NCS-862880-PHX1)

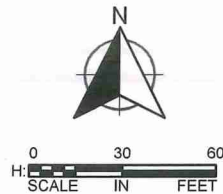
Outlot A, Southern Crossings, according to the recorded plat thereof, Olmsted County, Minnesota. (Property is Abstract)

LEGEND

- DENOTES IRON MONUMENT SET
- DENOTES IRON MONUMENT FOUND
- ☆ DENOTES UTILITY POLE
- ★ DENOTES STREET LIGHT
- ⊞ DENOTES ELECTRIC METER/BOX
- ⊞ DENOTES TELEPHONE BOX
- ⊞ DENOTES HAND HOLE
- ⊞ DENOTES FIRE HYDRANT
- ⊞ DENOTES WATER SHUTOFF
- ⊞ DENOTES MISCELLANEOUS MANHOLE
- ⊞ DENOTES SANITARY SEWER MANHOLE

- ⊞ DENOTES STORM SEWER MANHOLE
- ⊞ DENOTES CATCH BASIN
- ⊞ DENOTES GATE VALVE
- ⊞ DENOTES FLOOD LIGHT
- ⊞ DENOTES SOIL BORING
- ⊞ DENOTES CONCRETE
- ⊞ DENOTES BITUMINOUS
- ⊞ DENOTES SIGN
- ⊞ DENOTES MAIL BOX

- DENOTES UNDERGROUND FIBER OPTIC
- DENOTES UNDERGROUND TELEPHONE
- DENOTES UNDERGROUND GAS
- DENOTES UNDERGROUND ELECTRIC
- DENOTES WATERMAIN
- DENOTES SANITARY SEWER
- DENOTES STORM SEWER
- DENOTES EXISTING FENCE
- DENOTES OVERHEAD WIRE
- DENOTES EXISTING 1' CONTOUR



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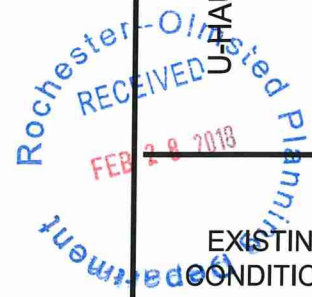
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

BRIAN W. FRANK

DATE: 2/21/18 LIC. NO: 52728

HAUL AT BROADWAY SOUTH

ROCHESTER, MN



EXISTING
CONDITIONS

SITE CAPACITY CALCULATIONS
LOCATION: PARCEL PIN:64.23.13.081937
ZONING: B-4 GENERAL COMMERCIAL DISTRICT
USE: SELF SERVICE STORAGE FACILITY
RETAIL TRADE

BASE SITE AREA: 249,922 SF 5.74 ACRES
RESOURCE PROTECTION AREA:
POND: 6,573.4 X 100% = 6,573.4 SF
DRAINAGEWAY: 6,273.8 X 20% = 1,247.9 SF
TOTAL RESOURCE PROTECTION: 7,821.3 SF
NET BUILDABLE AREA: 242,100.7 SF 5.56 ACRES

BUILDING SUMMARY:
3 STORIES BLDG: 92,424 SF
RELOCATABLES (45: 10' X 10'): 4,500 SF
FLOOR AREA RATIO (FAR): RATIO SQUARE FEET
PERMITTED F.A.R.: .50 121,050 SF
PROPOSED F.A.R.: .40 96,924 SF

PARKING PER STORAGE FACILITY:
1/150 SF RETAIL (1,805 SF) 12 STALLS
1 PER EMPLOYEE (LARGEST SHIFT) 5 STALLS
1 PER 200 UNITS (864 UNITS) 5 STALLS
26,741 SF VEHICLE STORAGE 9 STALLS
TOTAL REQUIRED: 35 STALLS
TOTAL PROPOSED: 35 STALLS

OWNER:
KAHN, DOROTHY D

REQUIRED SETBACK PROPOSED SETBACK
FRONT YARD (COMMERCIAL DRIVE NW/EAST)
15' 67.29'
SIDE YARD (NORTH)
0' 92.91'
SIDE STREET SIDE YARD (SOUTH)
7.5' 50.11'
REAR YARD (WEST)
0' 448.42'

BUFFERYARD VII:
NORTHERN PROPERTY BOUNDARY=
15' G BUFFERYARD

623.95'/100 LF = *18 CANOPY TREES
*27 UNDERSTORY TREES
*56 SHRUBS (-5 SHRUBS/100
FOR USE OF 8' PRIVACY FENCE

+ 8' PRIVACY FENCE ADJACENT PROPERTY
LINE WHERE SHOWN 350' ADJACENT
DRAINAGE WAY
+ REMAINING PRIVACY FENCE TO BE 8'
SCREENED SECURITY FENCING LOCATED
ON SOUTHERN EDGE OF DRAINAGE
EASEMENT

OWNER:
BROGAN, THOMAS J.

WESTERN PROPERTY BOUNDARY=
15' F BUFFERYARD

190"/100 LF = 9 CANOPY TREES
17 UNDERSTORY TREES
16 SHRUBS (-5/100 SHRUBS
FOR USE OF 8' PRIVACY FENCE)

+8' PRIVACY FENCE ADJACENT SECURITY
OUTDOOR STORAGE AREA ONLY.

SEdge MEADOW DRIVE SW:
LOCAL STREET = S1 BOULEVARD TREES
715.1 LF/35 = 21 TREES
COMMERCE DRIVE SW:
COLLECTOR STREET = S1 BOULEVARD TREES
386.36 LF/35 = 12 TREES

LANDSCAPE AREA:
REQUIRED 10%
24,992.2 SF
PROPOSED >35%
86,136.4 SF

OWNER:
BROGAN, THOMAS J.

BOULEVARD PLANTING TREES: TO BE PLANTED BY
OWNER:

BOULEVARD TREES MUST BE PLANTED PER CITY
OF ROCHESTER APPROVED TREE SPECIES LIST
AND WITH SIGNED PERMITS BY THE CITY
FORESTER.

SIGNAGE:
TYPE B

EXTERIOR LIGHTING:
TYPE R

EXTERIOR STORAGE:
TYPE R:

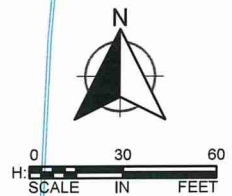
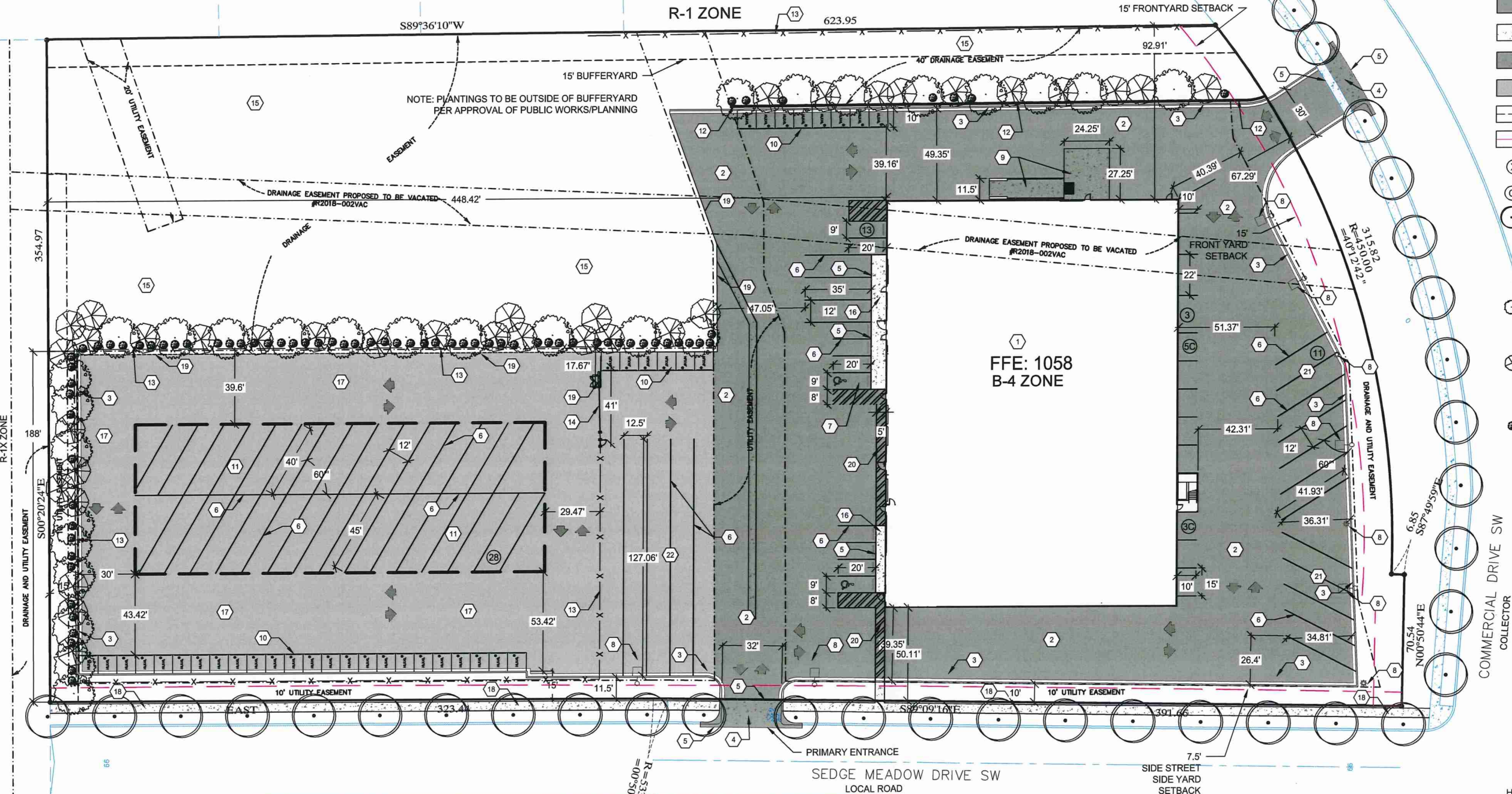
OWNER:
BROGAN, THOMAS J.

KEYNOTES

- NEW 3-STORY BUILDING. REFER TO ARCHITECTURAL PLANS.
- ASPHALT PAVEMENT. (SEE DETAIL 1/CS501)
- B618 CONCRETE CURB AND GUTTER, TYPICAL. (SEE DETAIL 3/CS502)
- COMMERCIAL CONCRETE DRIVEWAY APRON. (SEE DETAIL 5/CS501)
- THICKENED BITUMINOUS EDGE AT CONCRETE. (SEE DETAIL 2/CS501)
- PARKING STRIPE, 4" WIDE, WHITE; TYPICAL.
- ACCESSIBLE PARKING STALL WITH WHEEL STOP AND SIGNAGE.
(SEE DETAIL 1, 2, 3, 4/CS503)
- SITE LIGHTING, SEE LIGHTING PLAN (BY OTHERS).
- U-BOX DOCK.
- OUTDOOR STORAGE UNITS (REFER TO SHEET A-3)
- COVERED RV PARKING FACILITY (REFER TO EXHIBIT A)
- RETAINING WALL. (DESIGN & DETAIL BY OTHERS)
- 8' CHAIN LINK SCREENED SECURITY FENCE (SHEET Q3)
- AUTOMATED GATE (REFER TO SHEET Q3)
- DRAINAGE EASEMENT
- CONCRETE SIDEWALK. (SEE DETAIL 3/CS501)
- GRAVEL PARKING SURFACE. (SEE DETAIL 4/CS501)
- BOULEVARD SIDEWALK. (SEE DETAILS 6, 7/CS501)
- PEDESTRIAN GATE (REFER TO SHEET Q3)
- ACCESSIBLE ROUTE
- RENTAL TRUCK DISPLAY (AS NEEDED)
- SHUNTING AREA (ALLOCATED SPACE FOR
VEHICLE STAGING)

LEGEND

- HEAVY DUTY
ASPHALT PAVEMENT
- CONCRETE SIDEWALK
- CONCRETE PAVEMENT
- GRAVEL SURFACE
- 15' BUFFERYARD
- PROPOSED MINIMUM
SETBACK
- X = PARKING STALL
COUNT
- C = COMPACT STALL
- BOULEVARD TREE
PLANTING 1 1/2" CAL
MINIMUM PLANTING
SIZE.
SPECIES PER APPROVED
CITY OF ROCHESTER
TREE LIST
- CANOPY TREES 1 1/2" CAL
MINIMUM PLANTING SIZE.
MATURE HEIGHT NO LESS
THAN 20'.
- UNDERSTORY TREES
4" HEIGHT MINIMUM
PLANTING SIZE. MATURE
HEIGHT NOT GREATER
THAN 20'
- SHRUB PLANTING:
DECIDUOUS 15" MIN.
EVERGREEN 12" MIN.
SHRUB PLANTINGS
SHALL BE PLANTED TO
CREATE VISUAL SCREEN
AT MATURITY.



REVISIONS

NO.	DATE	DESCRIPTION

OWNER/DEVELOPER
AMERCO REAL ESTATE U-HAUL INT'L
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PHOENIX, AZ 85004
602.263.6502
C/O Lora Lakov@uhaul.com

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Planning Department

ROCHESTER, MN

SITE
DEVELOPMENT
PLAN

CS100



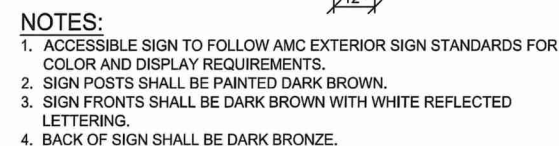
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AS SHOWN	BWF
PLAN BY:	CHECK BY:
TOR	MRS

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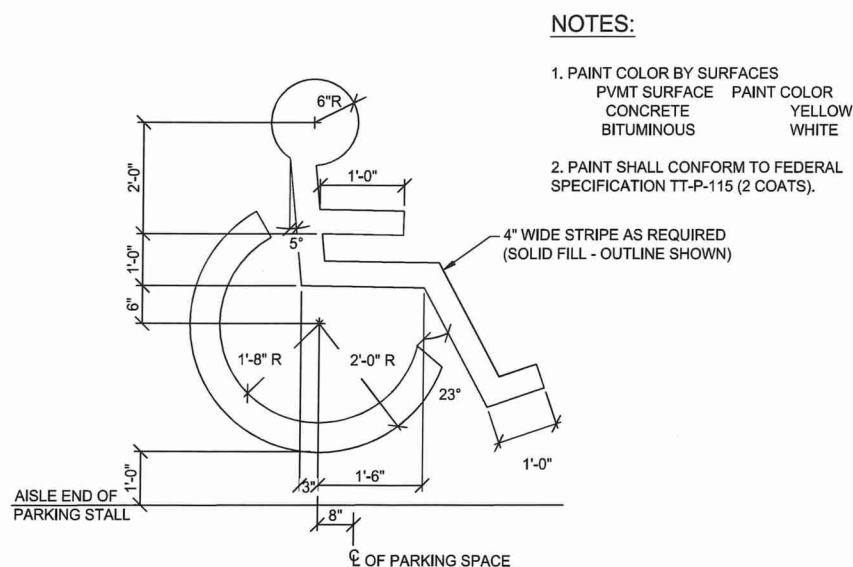
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BRIAN W. EBANK

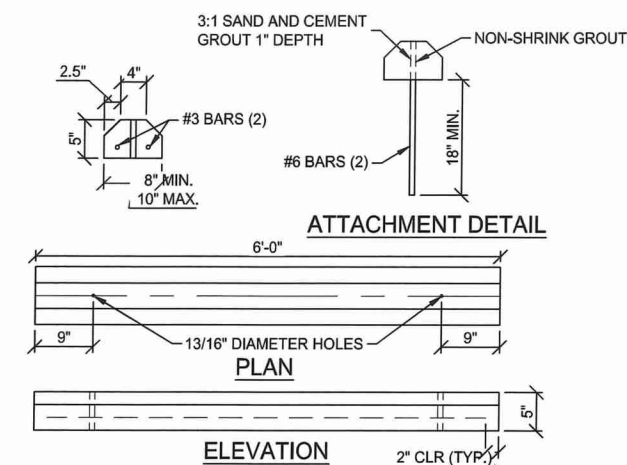
DATE: 2/21/18 IIC NO: 52728



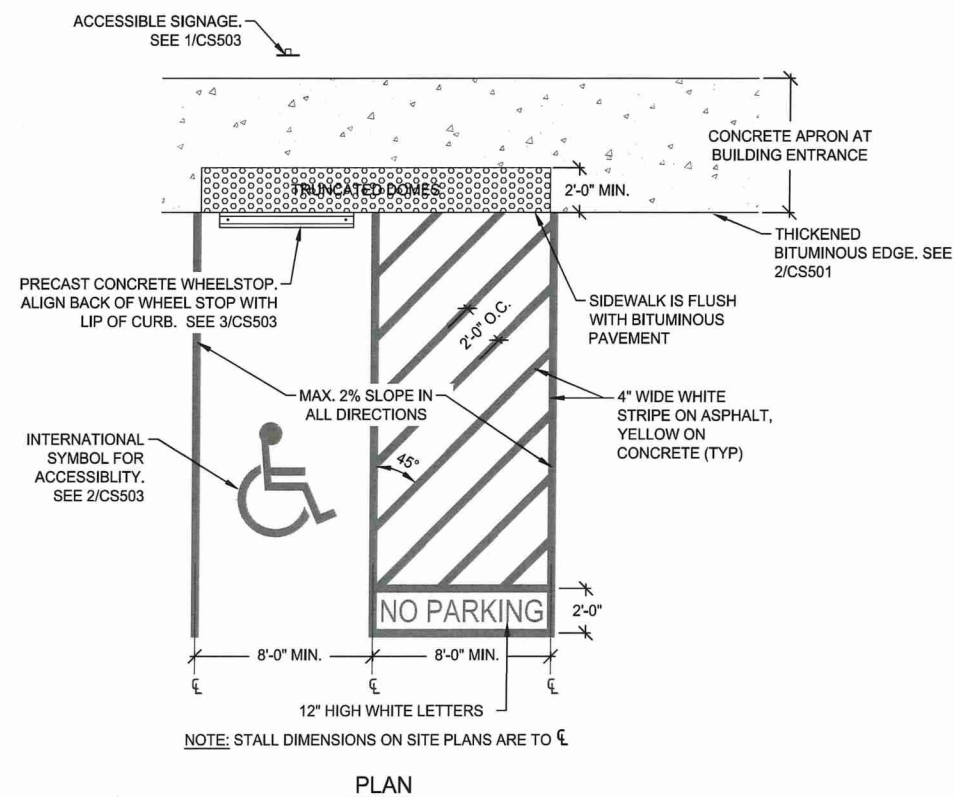
1 ACCESSIBLE PARKING SIGN
CS503 SCALE: NO SCALE



2 ACCESSIBLE STALL PAVEMENT SYMBOL
CS503 SCALE: NO SCALE



3 PRECAST CONCRETE WHEEL STOP
CS503 SCALE: NO SCALE



4 TYPICAL ACCESSIBLE STALL LAYOUT
CS503 SCALE: NO SCALE

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ROCHESTER, MN
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Rochester-Olmsted Planning Department

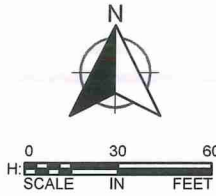
CS503

LEGEND

- CL CONSTRUCTION LIMITS
1019 PROPOSED CONTOUR
1019 EXISTING CONTOUR
XX.XX PROPOSED SPOT ELEVATION
XX.XX EXISTING SPOT ELEVATION (MEET & MATCH EXISTING)
HIGH POINT / RIDGE / SWALE
REJECT CURB
PROPOSED STORM SEWER
EASEMENT
STORM SEWER STRUCTURE
FLOW ARROW
EO EMERGENCY OVERFLOW
SW SIDEWALK
GL GUTTERLINE
TW GRADE AT TOP OF WALL
BW GRADE AT BOTTOM OF WALL
BC BACK OF CURB

GRADING NOTES

- SEE GEOTECHNICAL REPORT FOR REQUIRED EXCAVATION FOR BUILDING FOOTINGS AND FLOOR SLAB.
- RELOCATE BENCHMARKS AS NECESSARY WITH NEW BENCHMARK LOCATIONS WITHIN A TOLERANCE OF 0.010 VERTICAL FEET.
- BUILDING FLOOR ELEVATION (FFE) AS INDICATED ON THE DRAWINGS CORRESPONDS TO ELEVATION 100'-0" ON ALL OTHER DISCIPLINE SHEETS (ARCHITECTURAL, STRUCTURAL, ETC).
- THE PROPOSED GRADES SHOWN ON THE GRADING PLAN ARE FINISHED GRADES. SPOT ELEVATIONS ALONG CURB LINES REPRESENT THE FLOWLINE UNLESS OTHERWISE NOTED.
- GRADING ACTIVITY WHICH BLOCKS TRAFFIC OF ANY STREET, ALLEY, OR DRIVE IS SUBJECT TO APPROVAL BY THE CITY.
- SPOT ELEVATIONS SHOWN AT CATCH BASINS ON THIS PLAN DO NOT REFLECT 2" CASTING SUMP AND ACTUAL RIM ELEVATIONS. SEE SHEET CG102 FOR ACTUAL RIM ELEVATIONS.
- CONTRACTOR SHALL STOP WORK IMMEDIATELY AND NOTIFY THE ENGINEER AND OWNER IF CONTAMINANTS ARE FOUND IN THE EXISTING SOILS.
- SIDEWALK CROSS-SLOPES SHALL NOT EXCEED 2.0% AND LONGITUDINAL SLOPES SHALL NOT EXCEED 5.0%.
- IN AREAS WHERE NEW FILL IS TO BE PLACED ON SLOPING GROUND, BENCHING THE SURFACE SHALL BE COMPLETED PRIOR TO PLACING THE FILL. BENCHING SHALL BE COMPLETED WHERE SLOPES ARE STEEPER THAN 4:1 (HORIZONTAL:VERTICAL).
- PROVIDE POSITIVE DRAINAGE AT ALL TIMES WITHIN THE CONSTRUCTION AREA. DO NOT ALLOW WATER TO POND IN EXCAVATION AREAS, AND MAINTAIN ALL EXISTING DRAINAGE PATTERNS.
- UNLESS OTHERWISE NOTED, FINISH GRADE SHALL BE SIX INCHES BELOW FINISHED FLOOR IN NON-PAVED AREAS. GRADE SHALL SLOPE AWAY FROM BUILDING STRUCTURES AT FIVE PERCENT FOR A MINIMUM DISTANCE OF TEN FEET IN UNPAVED AREAS.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH ALL OSHA REGULATIONS IN THE EXECUTION OF WORK UNDER THIS CONTRACT.
- THE CONTRACTOR SHALL APPLY FOR A CITY OF ROCHESTER GRADING PERMIT BEFORE STARTING WORK. THE INSPECTOR AND THE CITY OF ROCHESTER PUBLIC WORKS DEPARTMENT SHALL BE NOTIFIED BY THE CONTRACTOR 48 HOURS BEFORE START OF CONSTRUCTION. NO WORK MAY BEGIN UNTIL THE PERMIT HAS BEEN RECEIVED AND THE CONTRACTOR MUST COMPLY WITH THE TERMS OF THE PERMIT.
- ALL NON-PAVED AREAS SHALL RECEIVE A FOUR-INCH (4") LAYER OF TOPSOIL. REFER TO EARTH MOVING SPECIFICATION 31 20 00 FOR DEFINITION OF TOPSOIL. REFER TO CG110 FOR AREAS TO RECEIVE PERMANENT SEED, SOD, TREES, & SHRUBS.
- THE CONTRACTOR SHALL ADJUST TO GRADE ALL MANHOLE STRUCTURES AND APPURTENANCES THAT FALL WITHIN THE LIMITS OF THIS CONTRACT. THE CONTRACTOR SHALL KEEP ALL SAID EXISTING UTILITIES AND THEIR APPURTENANCES FREE OF DEBRIS AND OPERABLE AT ALL TIMES DURING CONSTRUCTION.
- ALL GRADES WITHIN THE LANDSCAPED AREA SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL AND HAVE A MINIMUM GRADE OF 2%, UNLESS OTHERWISE NOTED. GRADED SWALES MUST HAVE A MINIMUM BOTTOM SLOPE OF 2.0%.
- ALL PAVEMENT GRADES SHALL BE AS FOLLOWS IN THE DIRECTION OF FLOW: ASPHALT PAVEMENT - 1.0% MINIMUM, 5% MAXIMUM
CONCRETE PAVEMENT - 1% MINIMUM, 5% MAXIMUM
CONCRETE CURB AND GUTTER - 0.50% MINIMUM
- SLOPES GREATER THAN 4:1 ARE STABLE FROM LAND SLIDING AND SURFACE EROSION.



SCALE: AS SHOWN
DESIGN BY: BWF
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REVISIONS

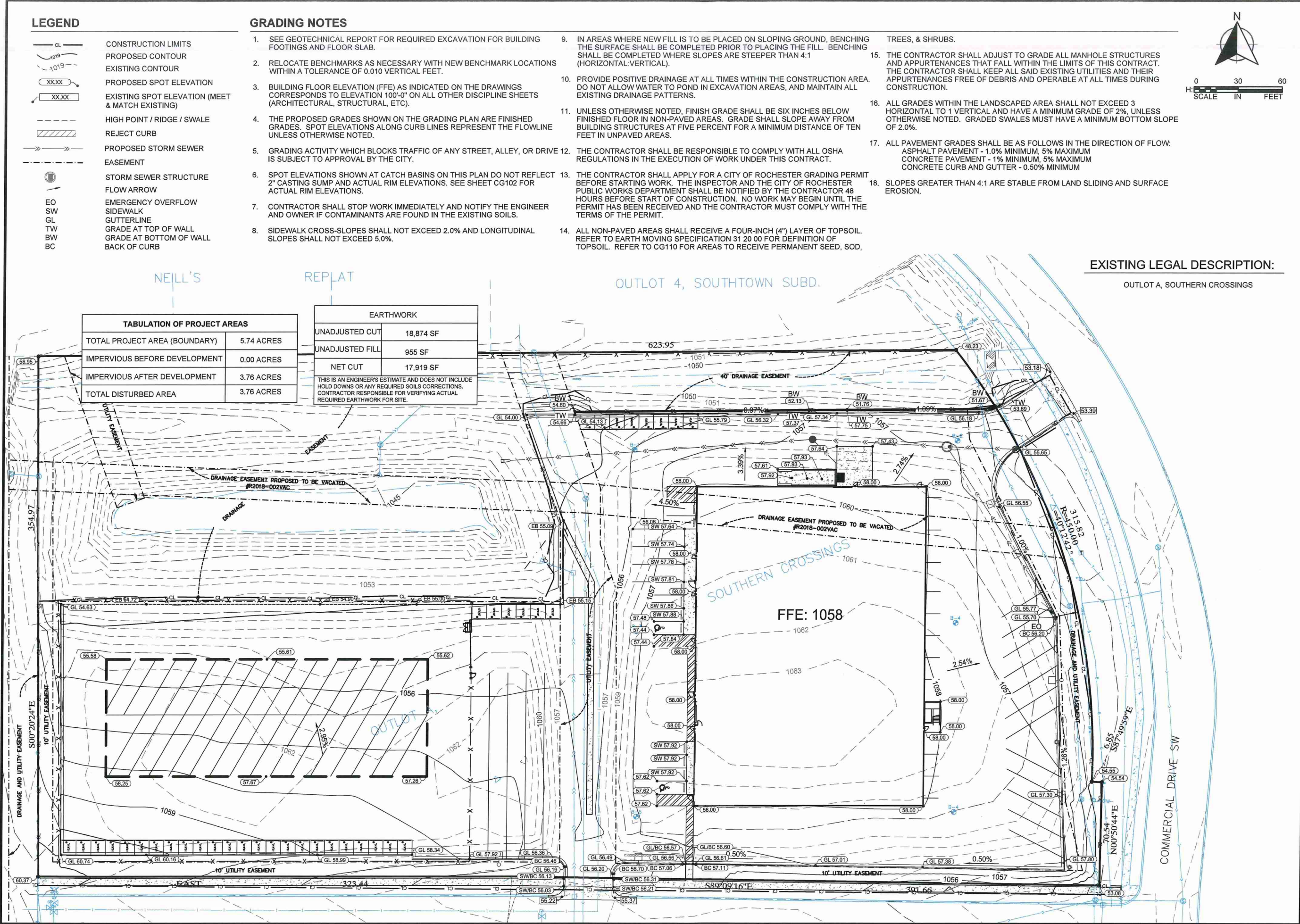
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BRIAN W. FRANK
DATE: 2/26/18
LIC. NO.: 52723

EXISTING LEGAL DESCRIPTION:

OUTLOT A, SOUTHERN CROSSINGS



LEGEND

- EXISTING WATER MAIN AND SERVICE
- PROPOSED WATER MAIN AND SERVICE
- EXISTING SANITARY SEWER PIPE
- PROPOSED SANITARY SEWER PIPE
- SANITARY MANHOLE
- EXISTING STORM SEWER PIPE
- PROPOSED STORM SEWER PIPE
- STORM SEWER STRUCTURES
- PROPOSED HYDRANT
- UTILITY EASEMENT LINES

NOTES

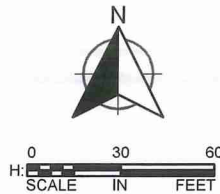
- EXISTING CONTOURS ARE NOT SHOWN TO MAINTAIN CLARITY OF SPECIFIED INFORMATION. REFER TO SHEETS CG101 FOR RELATIONSHIP OF STORM SEWER TO EXISTING GRADES.
- ALL UTILITIES WILL BE CONSTRUCTED PER CURRENT CITY OF ROCHESTER SPECIFICATIONS.
- COORDINATE INSPECTION AND TESTING FOR ALL UNDERGROUND UTILITIES WITH THE APPROPRIATE AUTHORITIES PRIOR TO COVERING TRENCHES. COMPLY WITH ALL LOCAL REQUIREMENTS. CONDUCT ALL TESTS TO THE SATISFACTION OF THE LOCAL AUTHORITIES.
- COORDINATES ARE TO END OF PIPE, CENTER OF APPURTENANCE, OR CENTER OF STRUCTURE UNLESS OTHERWISE NOTED.
- ALL UTILITIES AND CONDUITS SHALL TERMINATE 5' OUTSIDE THE FACE OF THE BUILDING UNLESS OTHERWISE NOTED.
- ALL EXISTING UTILITIES AND SERVICE LINES SHALL BE KEPT IN SERVICE AT ALL TIMES DURING CONSTRUCTION OF THIS PROJECT, UNLESS OTHERWISE AUTHORIZED BY THE CITY OF ROCHESTER.
- REPORT ANY DISCREPANCIES TO THE ENGINEER. RECONNECT ALL SERVICES NOT MARKED FOR REMOVAL OR AS DIRECTED BY THE OWNER.
- IN THE EVENT OF A CONFLICT BETWEEN WATER LINES AND STORM OR SANITARY SEWER PIPING, ADJUST THE WATER LINE DOWNWARDS IN SUCH A MANNER SO THAT THE PIPE MANUFACTURER'S RECOMMENDATIONS ON PIPE DEFLECTION AND JOINT STRESS ARE NOT EXCEEDED.
- THE CONTRACTOR SHALL ADJUST TO GRADE ALL WATER AND GAS VALVE BOXES AND MANHOLES THAT FALL WITHIN THE LIMITS OF THIS CONTRACT. THE CONTRACTOR SHALL KEEP ALL SAID WATER, GAS AND EXISTING SEWERS AND THEIR APPURTENANCES FREE OF DEBRIS AND OPERABLE AT ALL TIMES DURING CONSTRUCTION.
- 10-FOOT HORIZONTAL SEPARATION REQUIRED BETWEEN SEWER LINES AND/OR STRUCTURES AND POTABLE WATER LINES.
- CONTRACTOR SHALL IDENTIFY, FIELD VERIFY AND COORDINATE ALL EXISTING AND PROPOSED UTILITY CROSSINGS IN THE FIELD. REPORT CONFLICTS REQUIRING REDESIGN TO THE ENGINEER OF RECORD.
- REFER TO 2/CG502 & 4/CU501 FOR PIPE BEDDING DETAILS
- ALL ROOF DRAINAGE WILL BE CAPTURED AND CONVEYED TO STORM WATER POND. SEE ARCHITECTURAL PLAN FOR ROOF DRAIN LOCATIONS.
- SEE DETAIL 5/CG502 FOR FLARED END SECTION DETAIL.

TOP OF CASTING ELEVATION DEFINITIONS:

CASTING NO. ELEVATION DESCRIPTION:
R-1733 TOP OF RING
R-3067 TOP OF GRATE

SCHEDULE OF STRUCTURES

STRUCTURE NUMBER	STRUCTURE TYPE	STRUCTURE DETAILS
100	Concrete Flared End Section	TOP OF CASTING 1052.15 INLET 18" E: 1050.90
101	48" Type 4 Manhole R-1733 Casting	TOP OF CASTING 1057.52 INLET 18" E: 1051.87 INLET 4" SE: 1051.87 INVERT 18" W: 1051.77
102	27" Round Catch Basin R-3250 Casting	TOP OF CASTING 1055.38 INVERT 12" W: 1052.52
103	R-4996 Type M Trench Drain with Grated Cover	TOP OF CASTING 1057.86 INVERT 4" N: 1053.28
104	2' x 3' Catch Basin R-3076 Casting	TOP OF CASTING 1055.53 INVERT 18" NW: 1052.97
105	72" Type 4 Manhole R-1733 Casting	TOP OF CASTING 1057.05 INLET 12" E: 1052.33 INLET 18" SE: 1052.43 INVERT 18" W: 1052.33
106	2' x 3' Catch Basin R-3076 Casting	TOP OF CASTING 1055.87 INLET 18" SE: 1052.95 INVERT 18" NW: 1052.95



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BRIAN W. FRANK

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U-HAUL AT BROADWAY SOUTH

ROCHESTER, MN

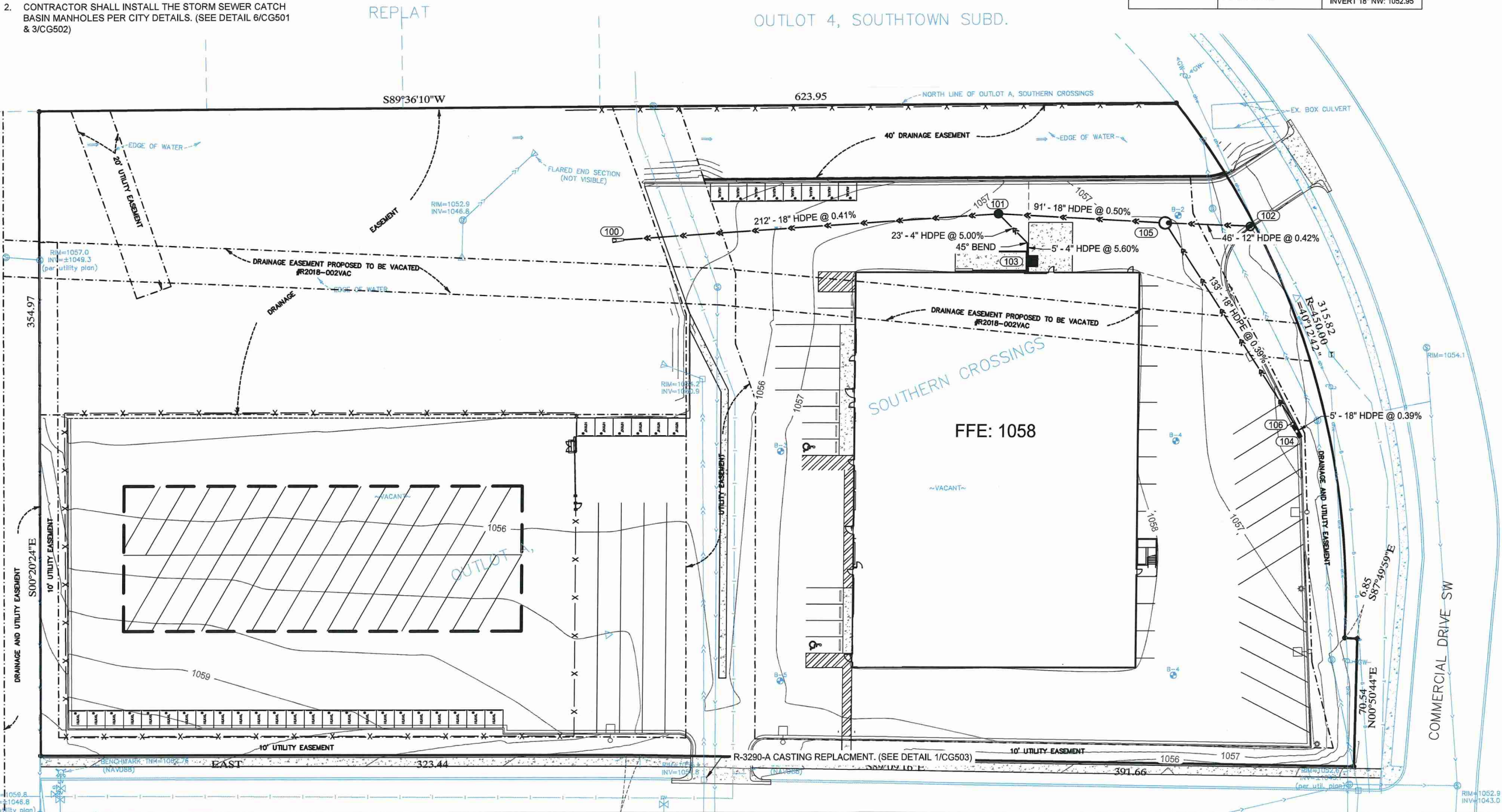
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FEB 28 2018

STORM SEWER
PLAN

CG102

STORM SEWER DETAIL NOTES

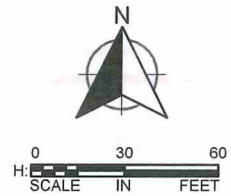
- CONTRACTOR SHALL INSTALL THE STORM SEWER MANHOLES PER CITY DETAILS. (SEE DETAIL 4/CG501, 5/CG501, AND 6/CG501)
- CONTRACTOR SHALL INSTALL THE STORM SEWER CATCH BASIN MANHOLES PER CITY DETAILS. (SEE DETAIL 6/CG501 & 3/CG502)



UTILITY NOTES

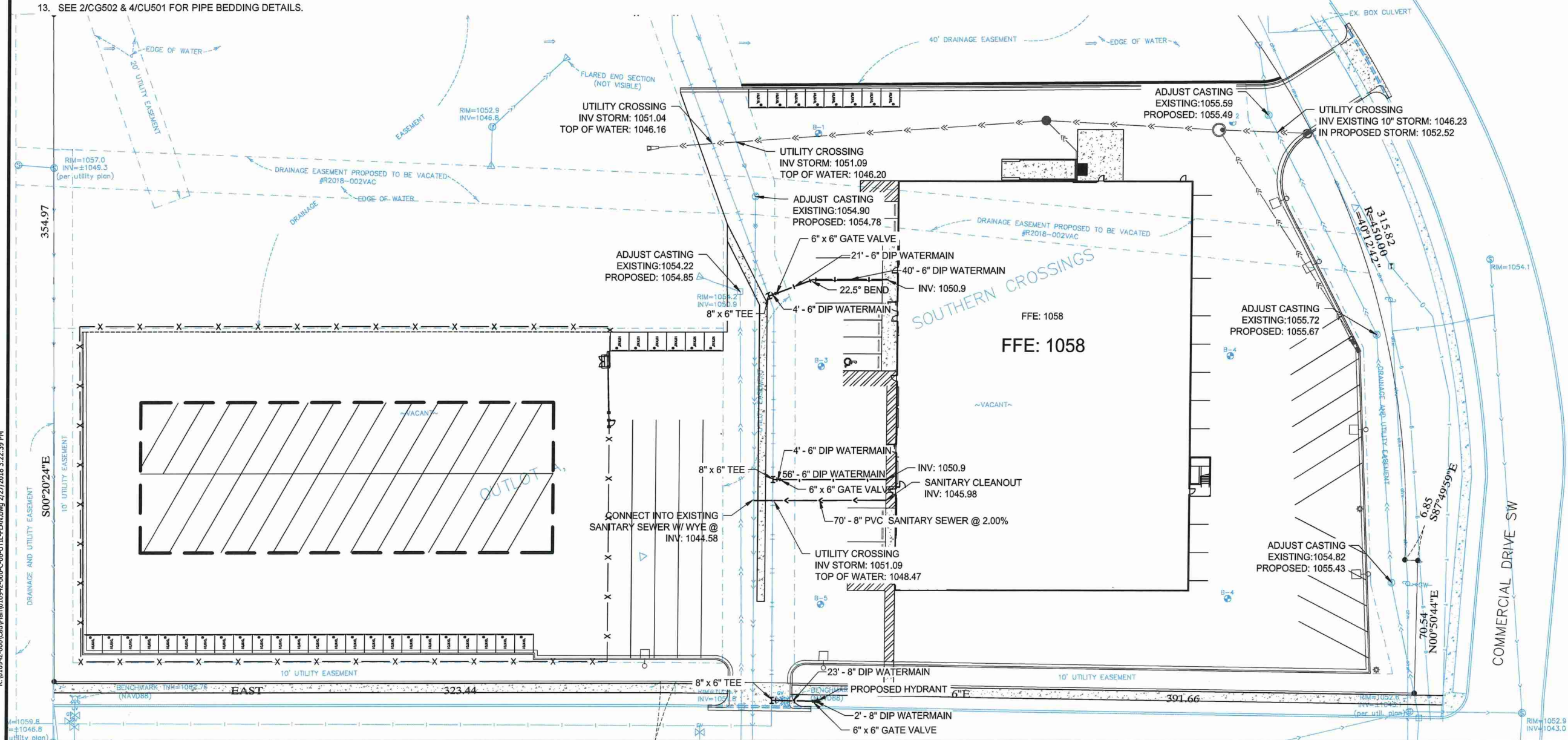
- COORDINATE INSPECTION AND TESTING FOR ALL UNDERGROUND UTILITIES WITH THE APPROPRIATE AUTHORITIES PRIOR TO COVERING TRENCHES. COMPLY WITH ALL LOCAL REQUIREMENTS. CONDUCT ALL TESTS TO THE SATISFACTION OF THE LOCAL AUTHORITIES.
- COORDINATES ARE TO END OF PIPE, CENTER OF APPURTENANCE, OR CENTER OF STRUCTURE UNLESS OTHERWISE NOTED.
- ALL UTILITIES AND CONDUITS SHALL TERMINATE 5' OUTSIDE THE FACE OF THE BUILDING UNLESS OTHERWISE NOTED.
- ALL EXISTING UTILITIES AND SERVICE LINES SHALL BE KEPT IN SERVICE AT ALL TIMES DURING CONSTRUCTION OF THIS PROJECT, UNLESS OTHERWISE AUTHORIZED BY OWNER.
- REPORT ANY DISCREPANCIES TO THE ENGINEER. RECONNECT ALL SERVICES NOT MARKED FOR REMOVAL OR AS DIRECTED BY THE OWNER.
- INSTALL ALL WATER MAINS AND APPURTENANCES IN ACCORDANCE WITH CITY OF ROCHESTER STANDARDS, AWWA AMERICAN WATERWORKS ASSOCIATION AND THE NATIONAL FIRE PREVENTION ASSOCIATION (NFPA) STANDARDS.
- PROVIDE ANY ADDITIONAL BENDS WITH THRUST BLOCKS AND OTHER APPURTENANCES REQUIRED TO ASSURE PROPER INSTALLATION OF WATER MAINS AND LATERALS. PROVIDE A VERTICAL TIE-DOWN BLOCK FOR ANY VERTICAL BEND DOWN AND PROVIDE A CRADLE FOR ANY VERTICAL BEND UP.
- IN THE EVENT OF A CONFLICT BETWEEN WATER LINES AND STORM OR SANITARY SEWER PIPING, ADJUST THE WATER LINE DOWNWARDS IN SUCH A MANNER SO THAT THE PIPE MANUFACTURER'S RECOMMENDATIONS ON PIPE DEFLECTION AND JOINT STRESS ARE NOT EXCEEDED.
- CONDUCT A PRESSURE TEST ON ALL WATER MAIN AND FIRE PROTECTION LINES TO THE SATISFACTION OF THE LOCAL APPROVAL AUTHORITY AND THE OWNER'S INSURANCE CARRIER.
- PROVIDE ALL WATER AND FIRE LINES WITH A MINIMUM DEPTH OF COVER OF 7 FEET.
- HYDRANTS PLACED WHERE THE GROUNDWATER TABLE IS ABOVE THE DRAIN HOLE OUTLET SHALL HAVE THE DRAIN HOLE PLUGGED AND BE EQUIPPED WITH A TAG STATING THE NEED FOR PUMPING AFTER USE.
- ALL POTABLE WATER PIPES, FITTINGS AND FIXTURES SHALL MEET THE 'REDUCTION OF LEAD IN DRINKING WATER ACT' WHICH ESTABLISHES A MAXIMUM LEAD CONTENT OF 0.25 PERCENT BY WEIGHTED AVERAGE OF THE WETTED SURFACES. HYDRANTS AND WATER DISTRIBUTION GATE VALVES 2 INCHES IN DIAMETER OR GREATER ARE EXEMPT.
- SEE 2/CG502 & 4/CU501 FOR PIPE BEDDING DETAILS.

- THE CONTRACTOR SHALL ADJUST TO GRADE ALL WATER AND GAS VALVE BOXES AND MANHOLES THAT FALL WITHIN THE LIMITS OF THIS CONTRACT. THE CONTRACTOR SHALL KEEP ALL SAID WATER, GAS AND EXISTING SEWERS AND THEIR APPURTENANCES FREE OF DEBRIS AND OPERABLE AT ALL TIMES DURING CONSTRUCTION.
- A #11 AWG TRACER WIRE SHALL BE INSTALLED ON ALL NON-METALLIC PIPES, THE WIRE SHALL BE TAPED TO THE PIPE EVERY 20 FEET, AND SHALL BE CONTINUOUS AND ACCESSIBLE ABOVEGROUND AT ALL VALVES AND BUILDING RISERS.
- SEE SPECIFICATIONS FOR WARNING TAPE REQUIREMENTS.
- REFER TO MECHANICAL PLANS FOR CONTINUATION OF UTILITIES INTO THE BUILDING.
- 10-FOOT HORIZONTAL SEPARATION REQUIRED BETWEEN SEWER LINES AND/OR STRUCTURES AND POTABLE WATER LINES.
 - WHERE THIS PROVISION CANNOT BE MET BETWEEN SEWER LINES AND POTABLE WATER LINES, SEWER PIPES SHALL BE A MATERIAL APPROVED FOR WATER DISTRIBUTION PER TABLE 604.1 OF CHAPTER 6 IN THE 2016 MINNESOTA PLUMBING CODE.
 - UNDER NO CIRCUMSTANCES SHALL POTABLE WATER LINES BE WITHIN 10' OF SEWER STRUCTURES UNDER THE JURISDICTION OF THE DEPARTMENT OF LABOR & INDUSTRY (DLI). SEWER STRUCTURES WITHIN 10' OF POTABLE WATER LINES THAT ARE NOT UNDER THE JURISDICTION OF DLI SHALL BE CONSTRUCTED TO ENSURE WATER TIGHTNESS MEETING MINNESOTA DEPARTMENT OF HEALTH STANDARDS.
- MINIMUM 6-INCH VERTICAL SEPARATION REQUIRED AT ALL UTILITY CROSSINGS. POTABLE WATER LINES SHALL BE MINIMUM 18" ABOVE OR 18" BELOW SEWER LINES AT CROSSINGS. WHERE POTABLE WATER IS LOCATED BELOW OR LESS THAN 18" ABOVE SEWER LINES, SEWER PIPES SHALL BE A MATERIAL APPROVED FOR WATER DISTRIBUTION PER TABLE 604.1 OF CHAPTER 6 IN THE 2016 MINNESOTA PLUMBING CODE.
- CONTRACTOR SHALL IDENTIFY, FIELD VERIFY AND COORDINATE ALL EXISTING AND PROPOSED UTILITY CROSSINGS IN THE FIELD. REPORT CONFLICTS REQUIRING REDESIGN TO THE ENGINEER OF RECORD.
- REFER TO ELECTRICAL AND MECHANICAL PLANS FOR CONNECTIONS AT BUILDING FOR GAS, POWER AND COMMUNICATIONS. CONTRACTOR TO COORDINATE SERVICES WITH LOCAL UTILITY PROVIDERS.
- ALL UTILITIES ARE PRIVATE EXCEPT THE WATER MAIN WITHIN THE ROW AS SHOWN.
- CONTRACTOR SHALL INSTALL PUBLIC WATER MAIN AND THE HYDRANT WITH GATE VALVE & BOX PER CITY DETAILS. (SEE DETAIL 1/CU501, 2/CU501, AND 3/CU501).



LEGEND

- EXISTING WATER MAIN AND SERVICE
- PROPOSED WATER MAIN AND SERVICE
- EXISTING SANITARY SEWER PIPE
- PROPOSED SANITARY SEWER PIPE
- SANITARY CLEANOUT (SEE 5/CU501)
- EXISTING STORM SEWER PIPE
- PROPOSED STORM SEWER PIPE
- STORM SEWER STRUCTURES
- HYDRANT (SEE 3/CU501)
- UTILITY EASEMENT LINES



WSB PROJECT NO.:
010942-000

SCALE: AS SHOWN
DESIGN BY: BWF
PLAN BY: TOR
CHECK BY: MRS

REVISIONS	
NO.	DESCRIPTION

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

BRIAN W. FRANK
DATE: 2/26/18
LIC. NO.: 52728

U-HAUL AT BROADWAY SOUTH
ROCHESTER, MN
RECEIVED
FEB 28 2018
City of Rochester - Olmsted Planning Department

UTILITY PLAN

SHEET NOTES:

REVISIONS:

NO.	DATE	INITIALS	NOTES
1	02/06/18	JRW	SPLIT ADA LOCKERS BETWEEN 1ST/2ND FLOORS
2			
3			
4			
5			
6			
7			

PROFESSIONAL SEAL:

PRELIMINARY DOCUMENTS,
NOT FOR CONSTRUCTION,
FOR INFORMATION ONLY.

ARCHITECT LOGO:

AMERCO
REAL ESTATE COMPANY
CONSTRUCTION DEPARTMENT
2727 NORTH CENTRAL AVENUE
FREDONIA, ARIZONA 85004
P: (602) 263-6502

SITE ADDRESS:
U-Haul at Broadway South
SWC US Hwy 82 & Hwy 68
Rochester, MN

SHEET CONTENTS:

FLOOR PLANS

726074

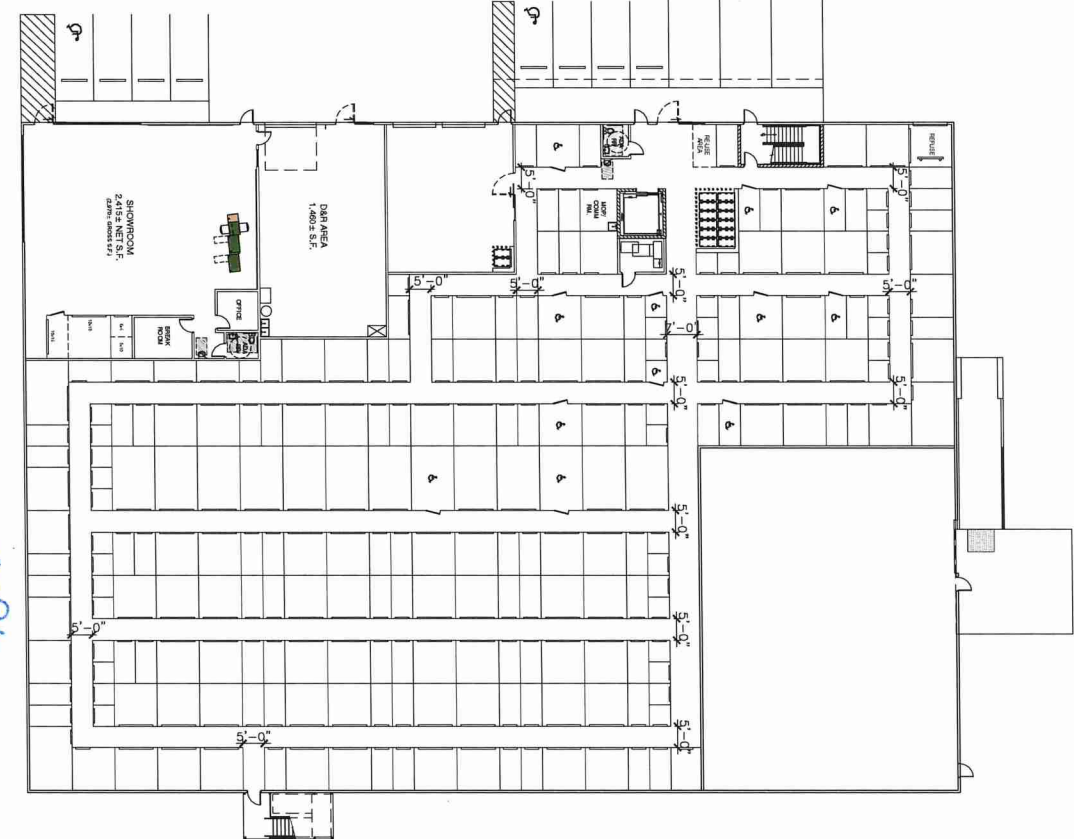
DRAWN: JRW
CHECKED: NH
DATE: 1/22/2018
A-1

726074A1.F-DWG

PROPOSED MIX

NON CLIMATE -33%		CLIMATE CONTROL -67%		TOTAL INTERIOR		EXTERIOR		TOTAL			
LOCKER SIZE	FLOOR	SO. FT.	%	SO. FT. FLOOR	QTY.	SO. FT.	%	QTY.	SO. FT.	%	
5 X 5	43	1,075	6%	53	106	2,650	6%	149	3,725	6%	
5 X 10	39	4,650	28%	107	213	10,650	25%	0	0	0%	
7 X 8	0	0	0%	1	2	112	0%	2	112	0%	
7 X 10	1	70	1%	1	2	140	1%	3	210	0%	
8 X 10	1	80	1%	3	2	5	400	1%	6	480	1%
10 X 10	82	8,200	49%	108	216	21,800	51%	38	3,800	100%	
10 X 15	16	2,400	15%	22	44	6,600	16%	0	0	0%	
TOTAL	236	16,475	100%	295	590	42,332	100%	86	3,800	100%	

6 24 ADA LOCKERS REQUIRED/PROVIDED
14 12' X 48' COVERED BY PARKING
14 12' X 48' COVERED BY PARKING



240 AREA
1,400 sq. ft.

SHOWROOM
2,415 sq. ft.

OFFICE
1,400 sq. ft.

RESTROOM
1,400 sq. ft.

STORAGE
1,400 sq. ft.

LOBBY
1,400 sq. ft.

REAR
1,400 sq. ft.

FRONT
1,400 sq. ft.

ENTRANCE
1,400 sq. ft.

EXIT
1,400 sq. ft.

STAIRS
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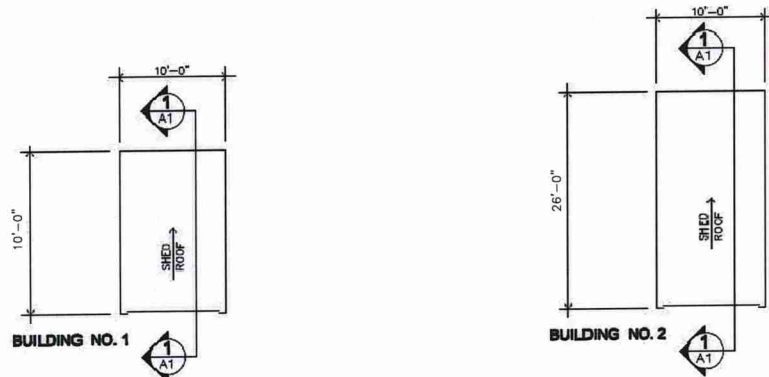
ELEVATOR
1,400 sq. ft.



TYPICAL ELEVATIONS

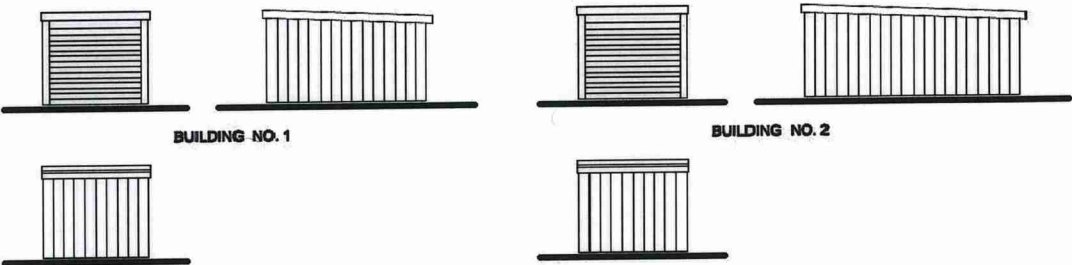


TYPICAL ELEVATIONS



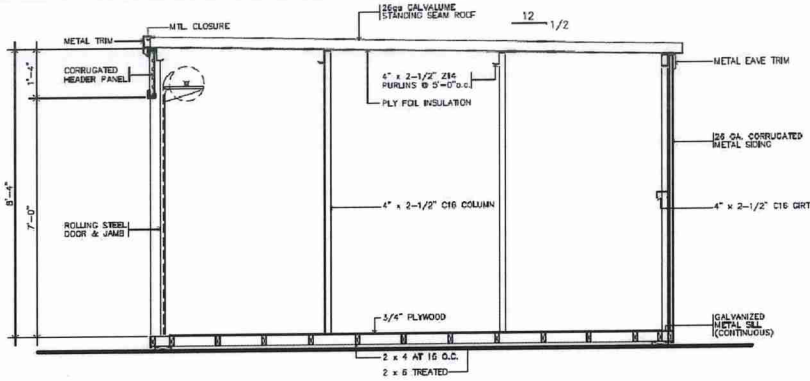
FLOOR PLANS

N.T.S.



ELEVATIONS

N.T.S.



TYPICAL - CROSS SECTION

N.T.S.

EXTERIOR		
QTY.	SQ. FT.	%
0	0	0%
0	0	0%
0	0	0%
0	0	0%
0	0	0%
38	3,800	100%
0	0	0%
38	3,800	100%

GENERAL NOTES:

REVISIONS:

PROFESSIONAL SEAL:

PRELIMINARY DOCUMENTS:
NOT FOR CONSTRUCTION.
FOR INFORMATION ONLY

ARCHITECT LOGO:

AMERCO
REAL ESTATE COMPANY

CONSTRUCTION DEPARTMENT
2727 NORTH CENTRAL AVENUE
PHOENIX, ARIZONA 85004
P: (602) 263-6502

SITE ADDRESS:

U-HAUL at Broadway South
SWC US Hwy 52 & Hwy 63
Rochester, MN

SHEET CONTENTS:

MINI STORAGE
EXAMPLE
ELEVATIONS

726074

DRAWN: A-3
CHECKED:
DATE: 02/16/2018

Rochester-Olmsted Planning Department
RECEIVED
FEB 28 2018

SHEET NOTES:

REVISIONS:

NO.	DATE	INITIALS	NOTES
	01/30/18	JRW	CHANGED ROOF SLOPE OF EAST ELEVATION
1	02/01/18	JRW	UPDATED ELEVATIONS
2			
3			
4			
5			
6			
7			

PROFESSIONAL SEAL:

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2777 NORTH CENTRAL AVENUE
PHOENIX, ARIZONA 85004
P: (602) 263-6502

SITE ADDRESS:

U-Haul at Broadway South
SWC US Hwy 52 & Hwy 69
Rochester, MN

SHEET CONTENTS:

EXTERIOR ELEVATIONS

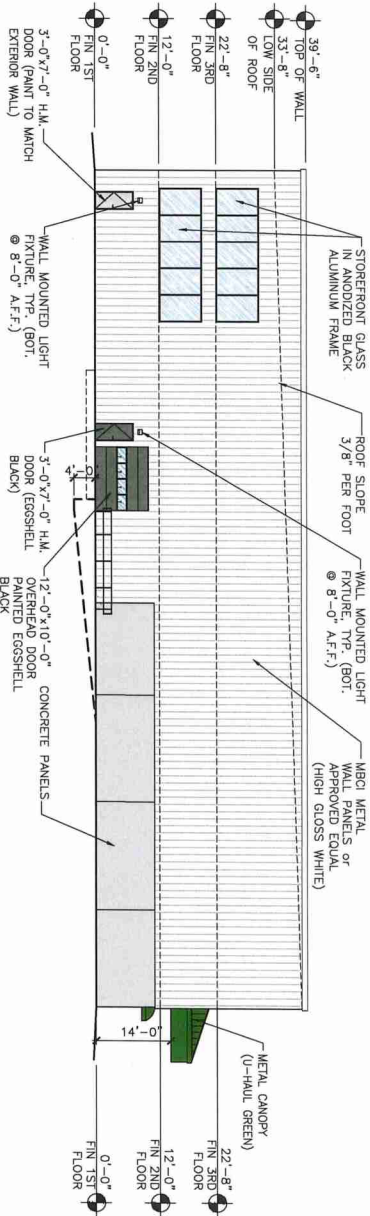
726074

DRAWN: DS
CHECKED: NH
DATE: 1/22/2018
A-2

726074A1-F.DWG

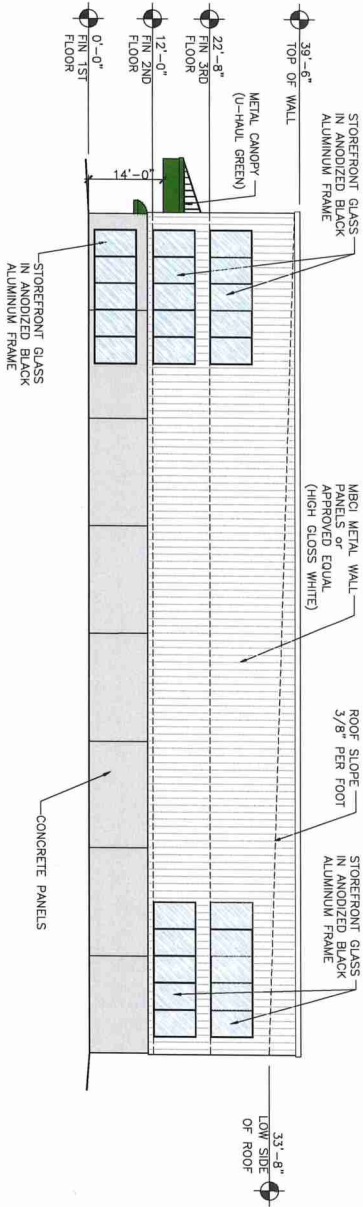
NORTH ELEVATION

SCALE: 1/16"=1'-0"



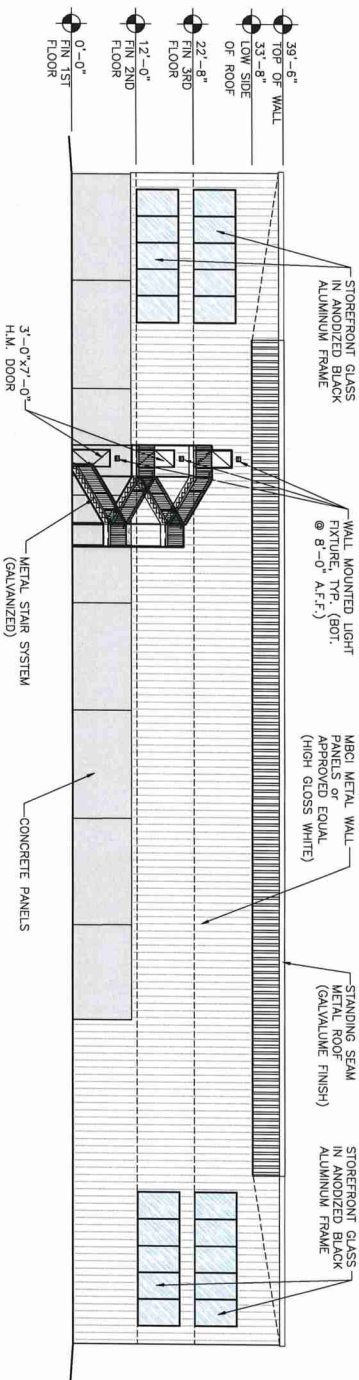
SOUTH ELEVATION

SCALE: 1/16"=1'-0"



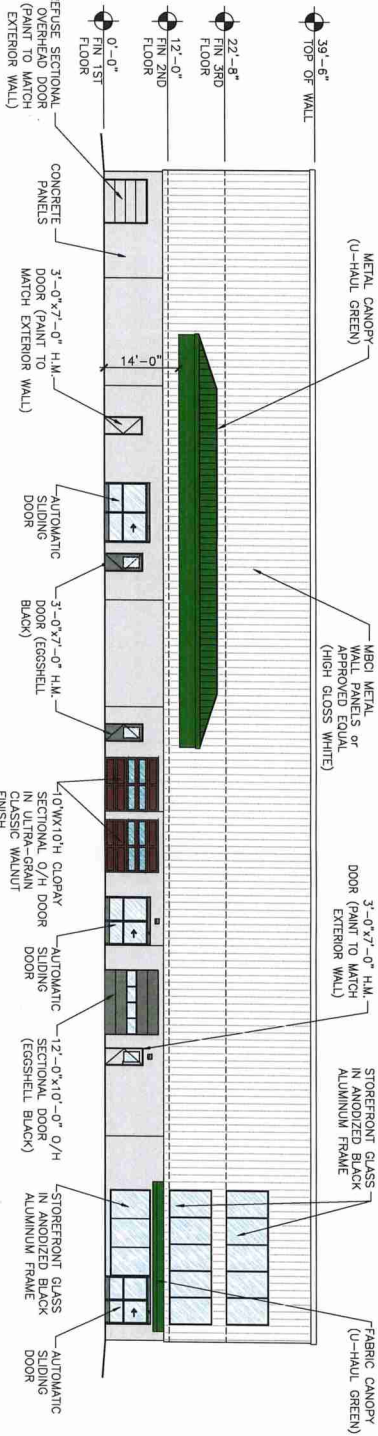
EAST ELEVATION

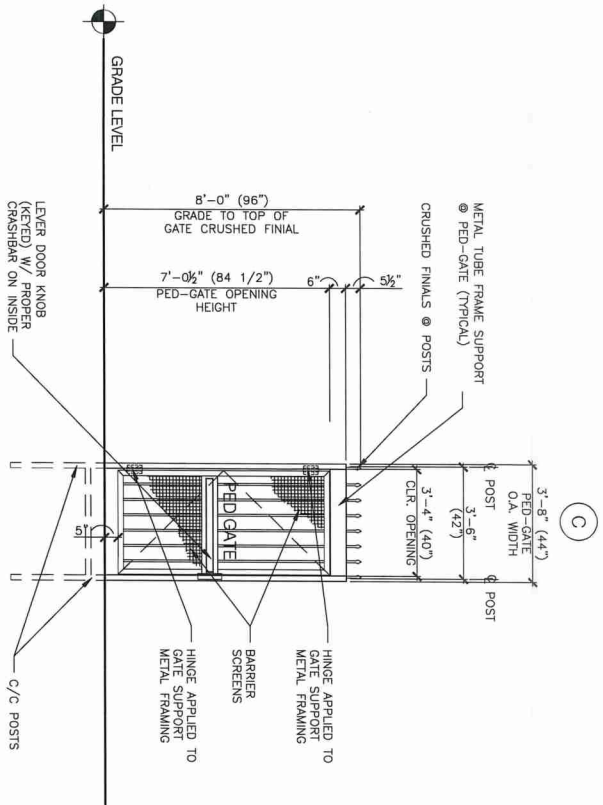
SCALE: 1/16"=1'-0"



WEST ELEVATION

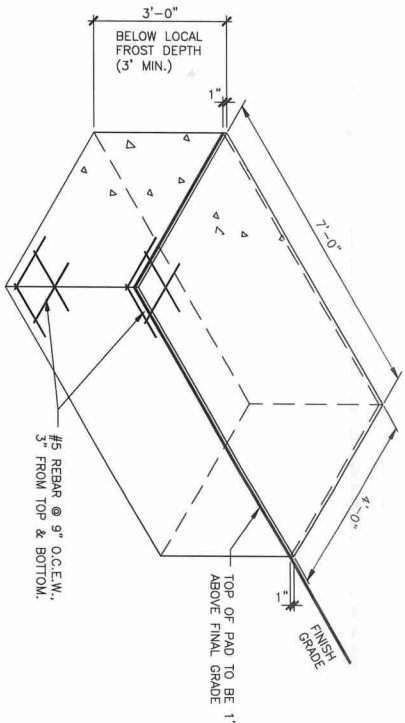
SCALE: 1/16"=1'-0"



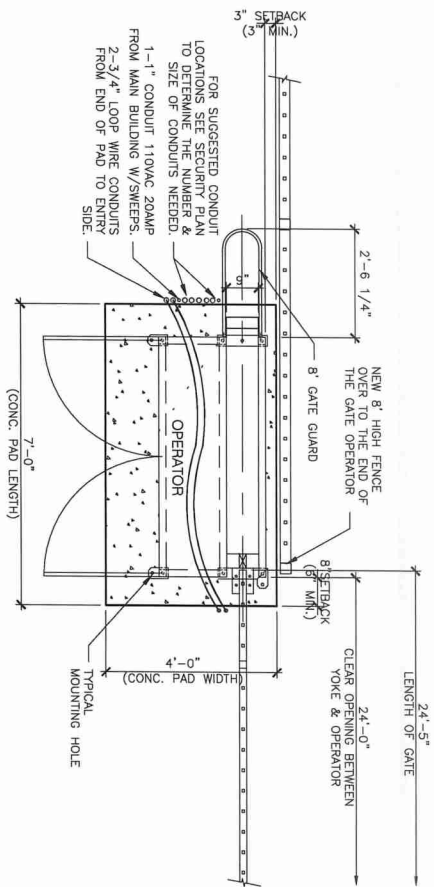


4 DETAIL: PED-GATE UNIT

SCALE: 3/8"=1'-0"



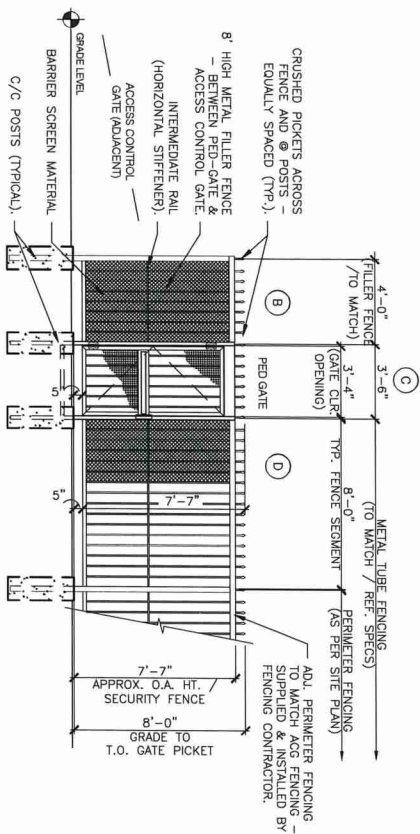
SLAB DETAIL FULL CONCRETE PAD W/ REBAR WHERE APPLICABLE



2 ACG OPERATOR / CONC. SETTING PAD DETAIL

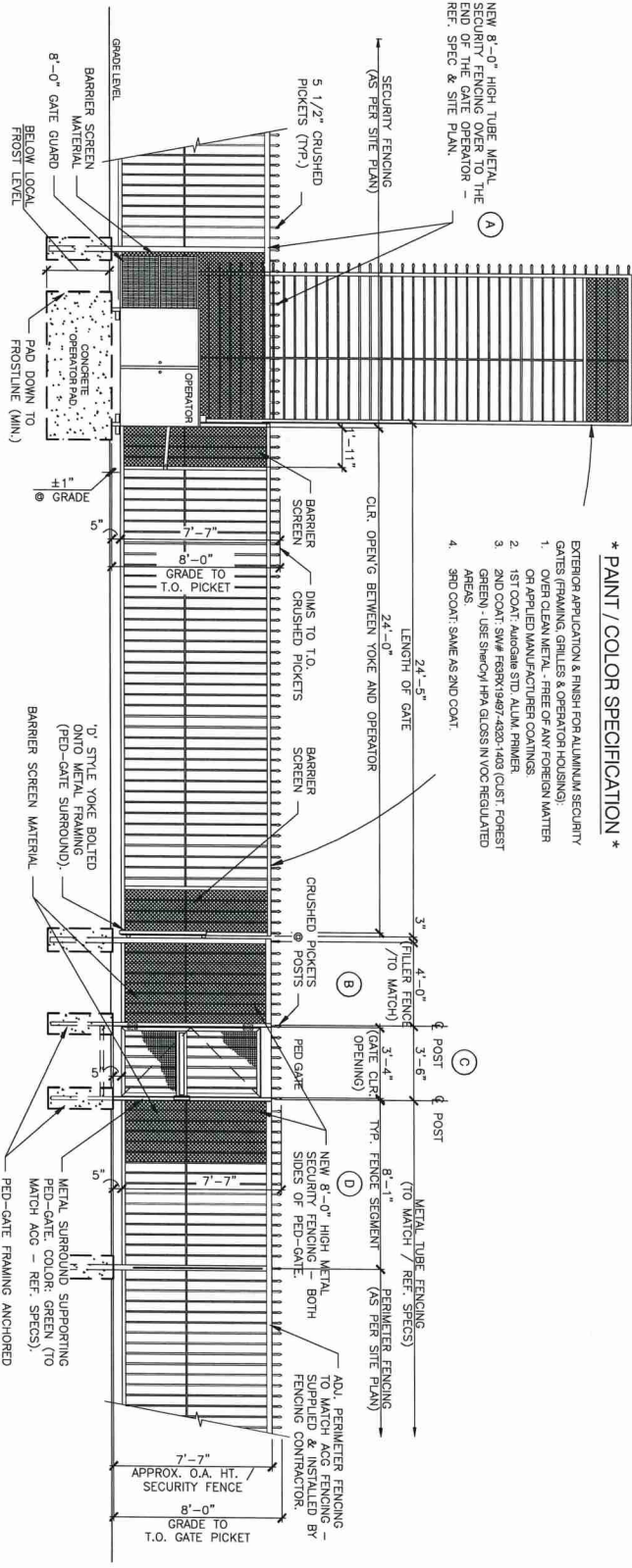
1 ACG OPERATOR DETAIL (LEFTHAND UNIT)

SCALE: 1/2"=1'-0"



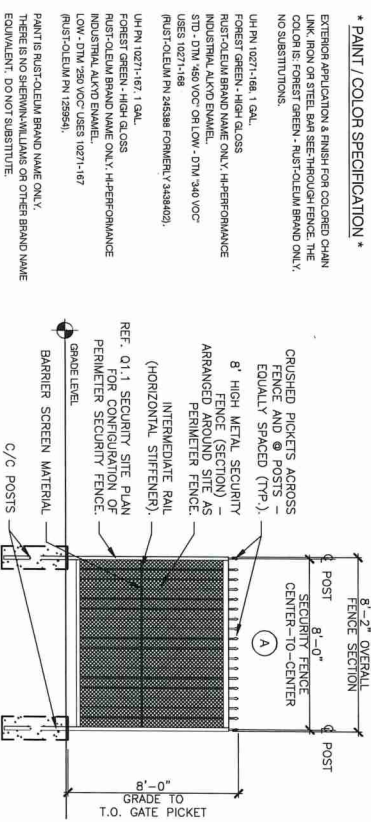
5 DETAIL: SECURITY FENCING @ PED-GATE

SCALE: 1/4"=1'-0"



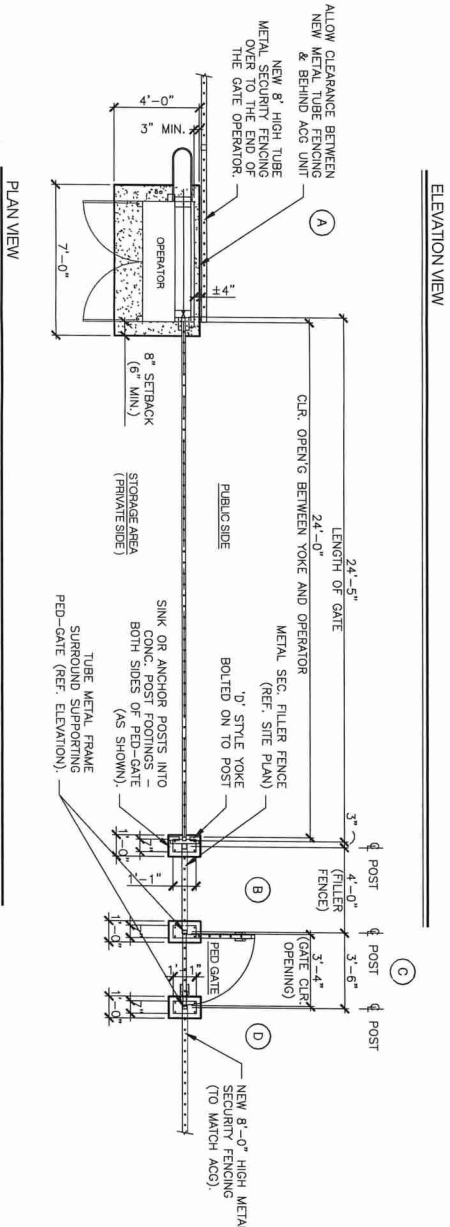
NOTE: MINIMUM CLEAR OPENING FOR PRELIME IS 24" PER CODE

NOTE: REFERENCE * PAINT / COLOR SPECIFICATION * PED GATE TO RECEIVE IDENTICAL FINISH



6 DETAIL: PERIMETER SECURITY FENCE SECTION

SCALE: 1/4"=1'-0"



3 PROPOSED ACCESS CONTROL GATE (ACG/LH) W/ PED-GATE

SCALE: 1/4"=1'-0"

GENERAL NOTES:

REVISIONS:

NOTES
Originally from: 09.794074

PROFESSIONAL SEAL:

ARCHITECT LOGO:

AMERCO
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PHOENIX, ARIZONA 85004
P: (602) 263-6602

SITE ADDRESS:

N/A

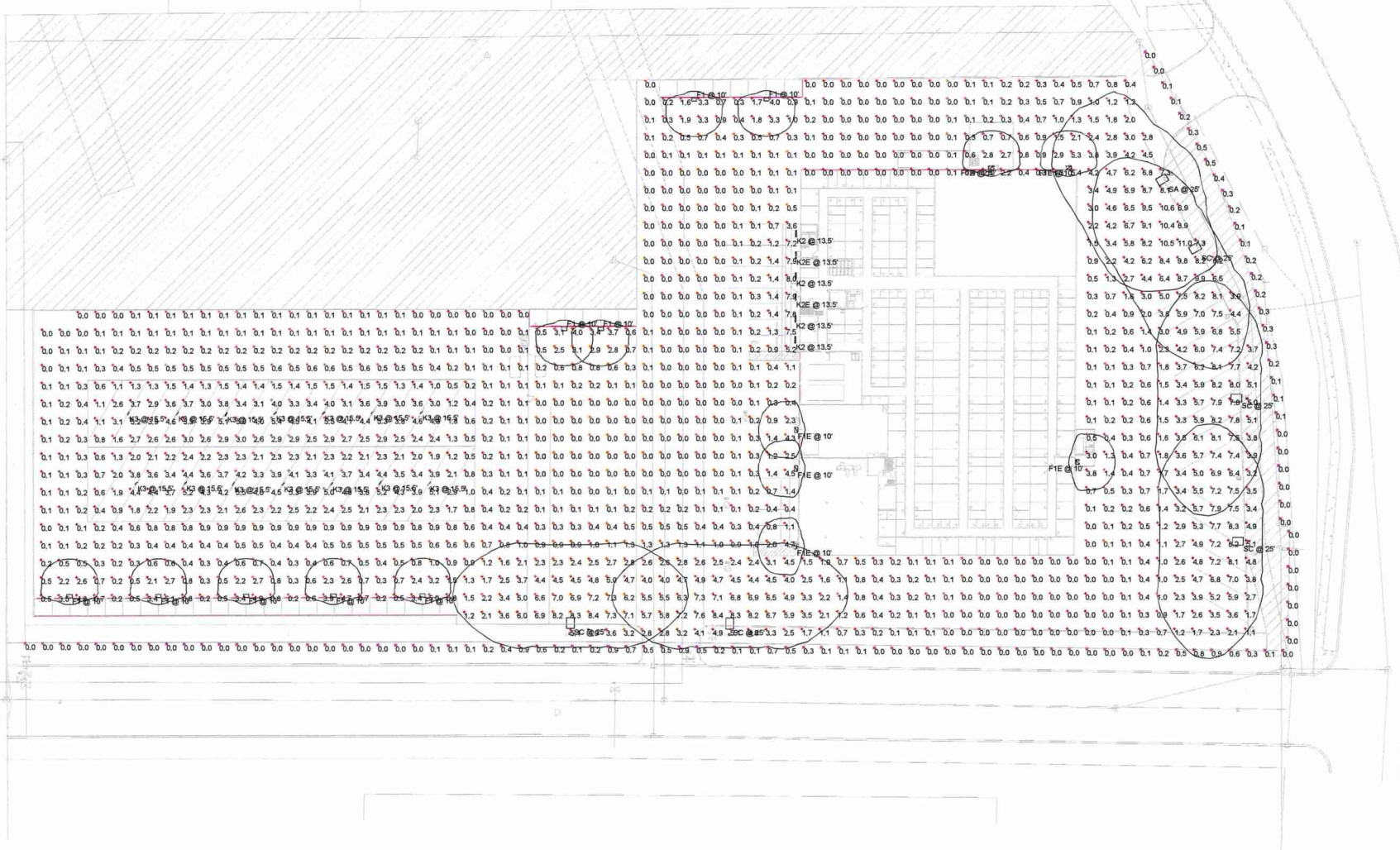
SHEET CONTENTS:

SECURITY
ACCESS CONTROL GATE
(LH ACG W/ PED-GATE)
INSTALLATION DETAILS

N/A

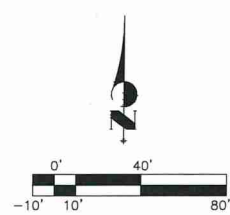
DRAWN: KD
CHECKED: RB
DATE: 10/26/17
A-4

LH & RH Prototypes



Schedule									
Symbol	Level	Quantity	Manufacturer	Catalog Number	Description	Lamp	Filename	Lumens Per Lamp	Light Loss Factor
	F1	9	Lithonia Lighting	WST LED P1 40K VF MVOLT DDBXD	WST LED, Performance package 1, 4000 K, visual comfort forward throw, MVOLT	LED - 4000K COLOR TEMP	WST_LED_P1_40K_VF_M VOLT.fas	1639.195	0.95
	F1E	6	Lithonia Lighting	WST LED P1 40K VF MVOLT DDBXD E7WD	WST LED, Performance package 1, 4000 K, visual comfort forward throw, MVOLT, WEM BATTERY PACK	LED - 4000K COLOR TEMP	WST_LED_P1_40K_VF_M VOLT.fas	1639.195	0.95
	K2	4	Lithonia Lighting	WRT 2 32 A12125 MVOLT GEB108	WRT LOCATION TRIGGER 1' X 4'	TWO 32-WATT T5 LINEAR FLUORESCENTS	WRT_2_32_A19_TUBES	2850	0.75
	K2E	2	Lithonia Lighting	WRT 2 32 A12125 MVOLT GEB108 SL14	WRT LOCATION TRIGGER 1' X 4', WEM BATTERY PACK	TWO 32-WATT T5 LINEAR FLUORESCENT	WRT_2_32_A19_TUBES	2850	0.75
	K3	14	Lithonia Lighting	DMH2 4000LM WD AFL MVOLT G21 40K 60CRI	DMH2 4000LM WD AFL MVOLT G21 40K 60CRI (GLEDS)	LED - 4000K COLOR TEMP	DMH2_4000LM_WD_AFL MVOLT_40K_60CRI.fas	4214.965	0.95
	SA	1	Lithonia Lighting	DSX2 LED P4 40K T4M MVOLT HS DDBXD/SSS 22 POLE WITH 3 BASE	DSX2 LED P4 40K T4M MVOLT with household shield	LED - 4000K COLOR TEMP	DSX2_LED_P4_40K_T4M_ MVOLT_HS.fas	25364.36	0.95
	SC	5	Lithonia Lighting	DSX2 LED P4 40K BLC MVOLT DDBXD/SSS 22 POLE WITH 3 BASE	DSX2 LED P4 40K BLC MVOLT	LED - 4000K COLOR TEMP	DSX2_LED_P4_40K_BLC_ MVOLT.fas	27374.16	0.95

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
FC @ GRADE		1.7 fc	11.0 fc	0.0 fc	N/A	N/A
PROP LINE @ 5' AFG		0.2 fc	0.9 fc	0.0 fc	N/A	N/A



PHOTOMETRIC PLAN

SCALE: 1"=40'



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SHEET NOTES:

REVISIONS:

NO.	DATE	INITIALS	NOTES
1			
2			
3			
4			
5			
6			
7			

PROFESSIONAL SEAL:

PRELIMINARY DOCUMENT,
NOT FOR CONSTRUCTION,
FOR INFORMATION ONLY

ARCHITECT LOGO:

AMERCO
REAL ESTATE COMPANY

CONSTRUCTION DEPARTMENT
2727 NORTH CENTRAL AVENUE
PHOENIX, ARIZONA 85004
P: (602) 263-6502

SITE ADDRESS:
U-Haul at Broadway South
SWC US Hwy 52 & Hwy 63
Rochester, MN

SHEET CONTENTS:
PHOTOMETRIC PLAN
Prepared by:
R C Lurie

726074

DRAWN:	RCL
CHECKED:	-
DATE:	01/17/18

PH-1

726074A1E.DWG